

LIMERICK TWENTY THIRTY

CLEEVES RIVERSIDE QUARTER

Phase II (a) – Site Activation Works

PROJECT INFORMATION MEMORANDUM

Open Procedure for an Engineer Led Single Point Design Team

JUNE 2026

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DISCLAIMER

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Candidates are recommended to read the tender documents thoroughly. While all reasonable steps have been taken to ensure that the information set out in this document is factually correct, no representation or warranty, express or implied, is or will be made or given in relation to the accuracy or the completeness of any information contained in these documents or otherwise provided by or on behalf of the Contracting Authority, in writing or otherwise, to any interested party or its advisers. No responsibility or liability for any loss or damage arising as a result of reliance on these documents, or for the information contained in these documents, or for any omission, is or will be accepted by the Contracting Authority or by any of its officers, employees, agents or professional advisers. No officer, employee, agent, or professional adviser of the Contracting Authority has any authority to give or make any representation or warranty, express or implied, in relation to such information. The Contracting Authority's officers, employees, agents and professional advisers expressly disclaim any and all liability arising out of such documentation or information and any errors or omissions in or from the documents and information.

The Contracting Authority reserves the right to discontinue the procurement process at any time. **Without prejudice to the principle of equal treatment, the Contracting Authority is not obliged to engage in a clarification process in respect of tender submissions with missing or incomplete information. Therefore, candidates are advised to ensure that they return comprehensive submissions in order to avoid the risk of elimination from the competition.**

The distribution of this PIM and associated tender documents is for the sole purpose of tendering the role of an Engineer Led Single Point Design Team for Phase II (a) – Site Activation Works at Cleaves Riverside Quarter Engineer Led Single Point Design Team for Phase II (a) – Site Activation Works at Cleaves Riverside Quarter. The distribution of this document does not grant permission or licence to use the documents for any other purpose. **Applicants are required to treat the details of all documentation provided in connection with this competition as private and confidential.**

1.0 INTRODUCTION

1.1 Limerick Twenty Thirty

Limerick Twenty Thirty Strategic Development DAC (LTT) was established by Limerick City and County Council (LCCC) and is a 100% owned subsidiary of LCCC.

Established in September 2016, it is tasked to plan and develop key strategic sites in Limerick City and County that will act as anchors for enterprise and investment development across Limerick and the Midwest Region. These strategic sites are identified in Limerick 2030: An Economic and Spatial Plan for Limerick, which sets out a comprehensive strategy for the economic and physical regeneration of Limerick (www.limerick2030.ie).

1.2 Tender Competition

Limerick Twenty Thirty is issuing this invitation to tender (ITT) for the provision of an Engineer led Single Point Design Team (SPDT) Services.

2.0 CLEEVES RIVERSIDE QUARTER DEVELOPMENT

2.1 Cleeves Riverside Quarter Site Location

The site, known locally as 'Cleeves Riverside Quarter' comprises the former industrial mill complex ('Cleeves') situated on the northern side of the River Shannon, Limerick City and occupies the area between; Stonetown Terrace Road to the northeast; O'Callaghan Strand to the southeast; Condell Road (R527) to the southwest; and, Salesian Primary School and the 'Fernhill' residential estate to the northwest and west respectively all situated in the townland of Farranshone More in Limerick City. The site is dissected by North Circular Road where it extends between Shelbourne Road Lower and O'Callaghan Strand.



Figure 1: Cleeves Riverside Quarter Site Boundary Line

The site has been in industrial use since its construction in the mid nineteenth century. Containing several of its original stone buildings, it is its chimney structure that dominates the city skyline.



Figure 2: Birds view of CRQ with red line boundary

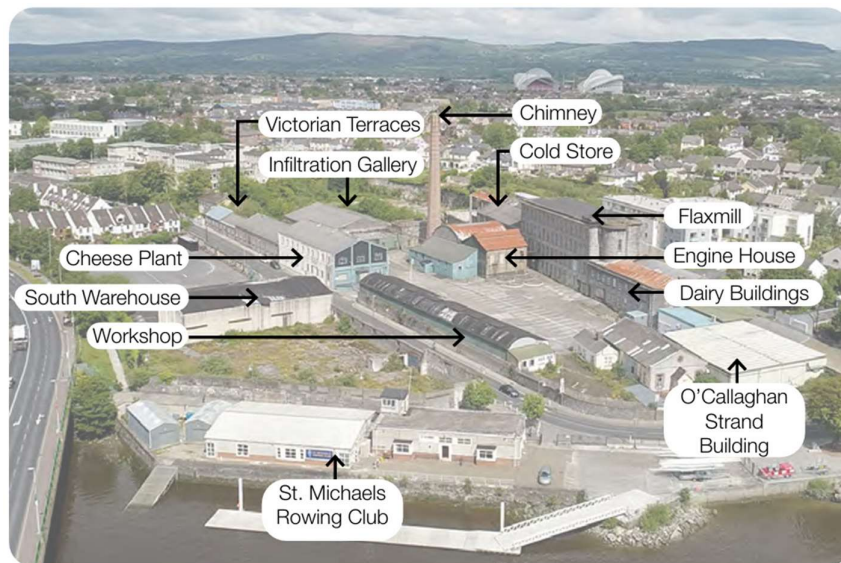


Figure 3: Key Buildings

2.2 Planning/Policy Context

2.2.1 Limerick Development Plan 2022-2028

The Cleves Riverside Quarter development is referenced numerous times in the LDP 2022-2028. As per Objective CRQ 01 – Cleves Riverside Quarter, the objective notes the following:

“It is an objective of the Council to ensure that the following are addressed in any redevelopment:

- a) Implement a high-quality urban design solution with a mix of uses, including residential, commercial, tourism/ancillary retail and amenities connecting to the City core.*
- b) Respond to the site context to generate a sustainable solution that creates a distinct riverside quarter, respecting the significant historic buildings, enabling the potential for greater height and density, while creating a landmark City gateway.*
- c) Investigate, assess and integrate the historic buildings and industrial heritage of significance, protect key features of historical merit and implement conservation principles to assist in the appropriate management of protected structures, in a manner that facilitates the practical regeneration and reuse of the site.*
- d) Enhance permeability of the public realm by removing and/or decreasing the effects of existing barriers to and within the site, through initiatives including:*
 - Public access, walking and cycling networks*
 - Enhanced streetscape and legibility*
 - Removal of section(s) of the existing Cleeves wall; and*
 - Improving road and traffic circulation.*
- e) Enhance the legibility of the natural and built environment and landscape and connections between place and space, whilst ensuring delivery of a high-quality public realm that relates and links to the City core and the River Shannon.*
- f) Identify and enhance natural heritage areas and features, particularly where opportunities exist to improve biodiversity and provide for quality public realm.*
- g) Support sustainable modes of transport and use of the public realm.*
- h) Facilitate a holistically sustainable and low carbon development that is energy efficient and future proofed for a changing climate.*
- i) Promote a site-specific approach, reflecting emerging best practice, in addressing flood risk and in the adaptation of protected structures and buildings of significance.*

2.2.2 National Development Framework (NPF)

The Cleeves Riverside Quarter development accords with the NPF with its principle of compact growth and the delivery of a mixed use development on a vacant brownfield site, in

the city centre. At least 50% of all new homes in Limerick must be delivered within the existing built-up footprint (NPO4 & NP08). This growth is to be achieved through compact urban development (NP045) emphasising the regeneration of brownfield sites (NPO14 & NPO13)

The NPF also acknowledges the demand for student accommodation which the CRQ site is also addressing.

2.2.3 Limerick 2030 – An Economic and Spatial Plan for Limerick

The site is identified in Limerick 2030 An Economic and Spatial Plan for Limerick as a transformational project ideally suited to an urban science and technology park. The Limerick Economic forum has further identified the site as a strategic site given its proximity to the core city centre and its dominant position on the river.

Applicants should take cognisance of the strategic and high-profile nature of the Cleaves Riverside Quarter development. The completed development must be ‘world class’ in every aspect and this in turn will demand a standard of professional service to the highest level. Further details of the services required will be included in the Tender Documents.

2.3 CRQ Masterplan

2.3.1 Introduction

The Masterplan, published in 2023, was prepared in response to the requirements for a coordinated and holistic approach to development on the Cleaves Site (5.30 hectares) as detailed in the Limerick Development Plan 2022 – 2028. It provides a broad framework for LTT’s vision for the future and creative re-use of this strategic city centre site and its valuable assets, providing a flexible and phased approach to development.

2.3.2 Masterplan Principles

A series of site-specific masterplan principles were developed as part of LTT’s ambition and project objectives:

1. Enhancing engagement with the city and celebrating the river’s edge
2. Harnessing the value of unique heritage fabric, offering a specific identity
3. Creating a strong public realm around accessible urban spaces and connecting public open spaces of the character areas
4. Connecting to the city: supporting a sustainable movement infrastructure and enhancing pedestrian and cycle connectivity
5. Offering permeability and enhancing urban connectivity
6. Optimising compact development whilst respecting historic context with complementary contemporary massing
7. Integrating a diverse and complementary mix of uses with mutual synergies to create a vibrant quarter, offering flexible venues for public uses to activate the public realm
8. Connecting with natural eco-systems and enhancing bio-diversity
9. Providing a resilient response to the environmental and climate setting, harnessing naturally available energies within a framework of exemplar sustainability targets

10. Supporting sustainable, integrated development



Figure 4: CRQ Phased Delivery

A summary of the Cleves Riverside Quarter Development which is broken into Phases I-IV, is provided in Table 1 below and annotated above in Figure 4.

Phase	Sub Phase	Description	Works
Phase I		Flaxmill Building	Repair and stabilisation works to the protected Flaxmill building
Phase II		Residential & Public Realm	Provision of residential units and extensive public realm
	Phase II (a)	Site activation Works	Demolition and provision of critical infrastructure to unlock development & residential zones
Phase III		Education Campus	Third level TUS campus in Flaxmill Plaza
Phase IV		Shipyards Site	Mixed use development. Currently being assessed

Table 1: Phased Delivery Description

2.4 Phase I – Stabilisation & Repair of Flaxmill Building

Works on the repair and stabilisation of the Flaxmill building were identified as a priority, specifically to stabilise the top floor. Sisk were appointed as Main Contractor and commenced works on site in Jan '26. Works are due for completion in Q1 2027.

A separate design team was procured for the Phase I works. The team is as follows:

Discipline	Consultant
Conservation Architect	Fielden Clegg Bradley Studios
Specialist Building Surveyor	Architectural Conservation Professionals
Structural Engineer	Tobin
Quantity Surveyor	Mitchell Mc Dermott
PSDP	Tobin
Planning Consultant	HRA
Project Ecologists	MKO
Conservation Architect	Fielden Clegg Bradley Studios
Employer's Representative	AtkinsRéalis

2.5 Phase II – Residential & Public Realm

Phase II of the CRQ consists of the development of the residential zones and public realm areas. The project consists of the following:

- Demolition of a number of structures to facilitate development
- Construction of residential units within 4 development zones in the site including Salesians, Quarry, Stonetown Terrace and O'Callaghan Strand
- Provision of a dedicated mobility hub within the Shipyard Zone
- Construction of public realm including the creation of the reservoir/quarry park, the Flaxmill Square and the riverside corridor.
- Provision of 3 No. dedicated bat houses
- Construction of flood defence measures including raising of the North Circular Rd and defence measures along O'Callaghan Strand.

In total 234 No. residential units, 270 No. Purpose built student accommodation (PBSA) beds, commercial floorspace and a creche are proposed within the four residential zones.

Discipline	Consultant
Architect (AIDT Lead)	Fielden Clegg Bradley Studios
Architect	Bucholz McEvoy Architects
Conservation Architect	Fielden Clegg Bradley Studios
Landscape Architect	Mitchell + Associates

Civil & Structural Engineer	ARUP
Services Engineer	ARUP
Fire Safety Engineer	ARUP
Planning Consultant	HRA
Ecologist	MKO
Quantity Surveyor	Mitchell McDermott

Design by the Architect Led Design Team have been completed to Stage 2A2 – Developed design standard. Planning was submitted to An Coimisiún Pleanála in November 2025. Further information was requested in March 2026. The further information response is currently being collated by the AIDT and is due to be submitted in mid-June. A decision on the application is expected in Q3/Q4 2026.

ACP Case 323849: [323849 | An Coimisiún Pleanála –](#)

CRQ Phase II Planning Website: [Cleeves Riverside Quarter Planning Application | Limerick.ie](#)

3.0 PHASE II (A) – SITE ACTIVATION WORKS

3.1 Project Purpose

As part of the overall Phase II development, critical infrastructure was identified to unlock development across the Cleeves site. This is now to be referred as the Phase II (a) – Site Activation works.

The project is an infrastructure focused project aimed to unlock development with particular focus on expediting delivery of the designated housing development zones at Salesians, Stonetown Terrace, Quarry PBSA, and O’Callaghan Strand.

The project consists of a coordinated package of critical infrastructure pertaining to water supply, wastewater and surface water, utilities, flood protection, and transport infrastructure

3.2 Project Objectives

The Site Activation works objectives are as follows:

- The delivery of critical infrastructure to expedite and enable the development of the CRQ site.
- Provide key infrastructure necessary to unlock housing development zones on the site.
- To expedite housing delivery across the site so it can be delivered as soon as possible.
- To reduce key development risks of the site to attract both public and private investment.
- To continue development on a strategic city-centre site aligning with the principles and objectives of the National Planning Framework
- To integrate sustainable and low-carbon solutions along with robust sustainable urban drainage solutions.

The Site Activation Works is to be delivered via public investment. The client is awaiting decision of application to the Housing Infrastructure Investment Fund (HIIF). Additional funding support such as URDF is also to be sought. However, this is not yet confirmed.

However, the project will proceed up until the completion of Stage ii (c) and is fully funded to completion of this stage.

3.3 Housing Infrastructure Investment Fund (HIIF)

3.3.1 Overview

In February 2026, the Housing Infrastructure Investment Fund – Call 1 application for the CRQ Site Activations Works was prepared by Limerick Twenty Thirty and submitted by Limerick City & Council to the Housing Activation Office (HAO) in the Department of Housing, Local Government and Heritage. The HIIF aims to support direct investment in infrastructure needed to unlock the development of housing in towns and cities nationwide.

3.3.2 Eligible HIIF Infrastructure

As noted in the HIIF application, the Cleeves Riverside Quarter project delivers transport, water, drainage, flood protection and public realm infrastructure required to enable early housing development across the Salesians, Stonetown Terrace, O'Callaghan Strand, Quarry (PBSA) and Shipyard sites, supporting the delivery of 664 homes.

Eligible HIIF infrastructure includes:

- 1) Transport infrastructure, including regrading and public realm works to Stonetown Terrace, O'Callaghan Strand and the Riverside Quarter, and regrading and raising of the North Circular Road to the 5.7m AOD flood protection level, delivering dry, safe access for emergency vehicles and the ability to locate homes on the site.
- 2) Water, foul and surface-water infrastructure, with SuDS, attenuation facilities and upgraded connections to Uisce Éireann networks. These works are essential to service the residential and student accommodation.
- 3) Flood-risk mitigation infrastructure, including land raising, flow control structures, reservoir attenuation and perimeter drainage to protect proposed housing from tidal, pluvial and groundwater flooding, unlocking the constrained site for housing delivery
- 4) Public realm and access infrastructure, including pedestrian and cycle links, streetscape upgrades and new amenity areas, ensuring permeability and safe movement.

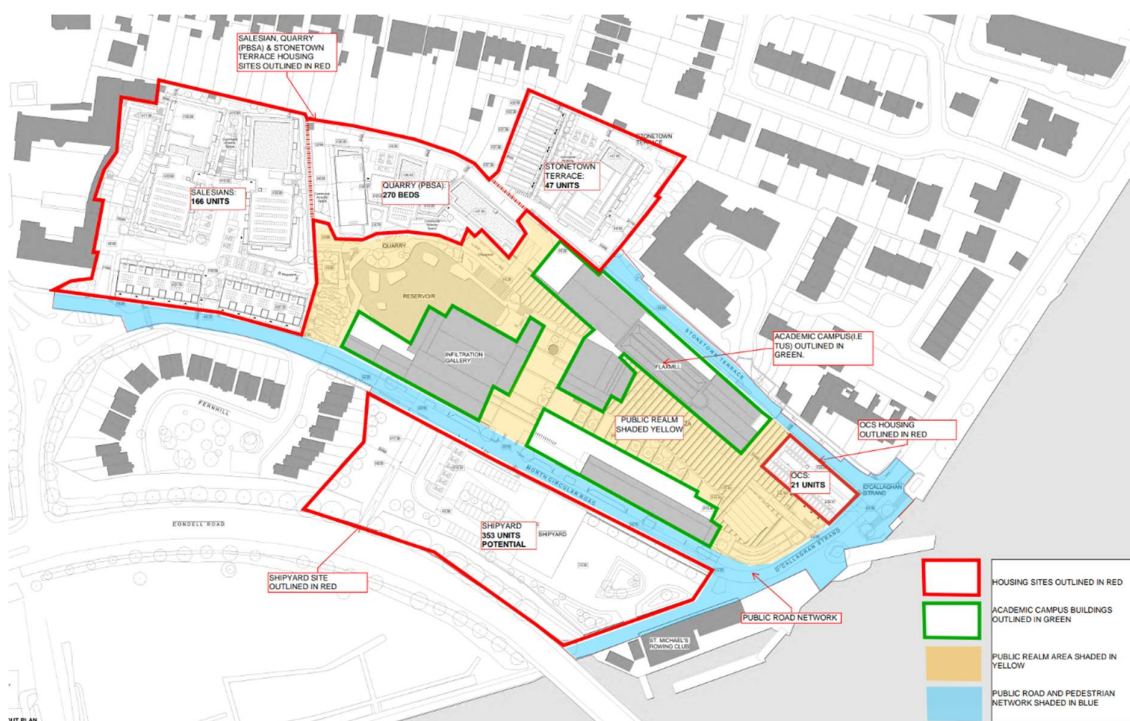


Figure 5: HIIF Application Key Plan (Red Boundary: Housing sites, Green Boundary: Academic Campus Bldgs, Yellow: Public Realm, Blue: Public Road and Pedestrian Network)

Collectively these works create serviced, flood resilient land that unlocks and accelerates housing on this strategic city-centre site.

3.4 Scope of Site Activation Works

The Site Activation Works project will include for all critical infrastructure and associated works that will unlock the sites potential and enable development of the CRQ site including expediting the delivery of housing within the relevant zones. This will include HIIF eligible infrastructure and works that are not eligible for HIIF.

The Site Activation works project will consist of the following works:

- 1) Demolition (Not HIIF Eligible)
 - a. Demolitions & Site Clearance works that are required to pave way for installation of infrastructure to expedite housing zones as per HIIF application
 - b. Demolitions & Site Clearance that will expedite housing zones however are not included in HIIF application
 - c. Demolitions that are not currently included in the Phase II Planning Application.
- 2) Surface Water, Wastewater and Water Infrastructure
 - a. Reservoir Works
 - b. Surface Water Main Drainage within the site
 - c. Capping & removing existing drainage etc.
 - d. Watermain & Foul connections to housing site boundaries.
- 3) Utilities & Telecommunication Service Routes
 - a. ESB Infrastructure
 - b. Public Lighting
 - c. Telecommunication Services (Eir, SIRO, ENET, Virgin Media, CRQ External ICT Services). Please note the development will be seeking WiredScore Neighbourhood Accreditation.
- 4) Flood Defence measures
 - a. NCR road raising and flood defence.
 - b. Riverside Flood defence
 - c. Shipyard Flood embankment. This will act as an Active travel link between NCR and the Condell Rd.
- 5) Road Infrastructure Improvement
 - a. NCR Road upgrades
 - b. O'Callaghan Strand upgrades
 - c. OCS/Stonetown junction upgrade
 - d. Stonetown Terrace road upgrade
 - e. Salesians road upgrades and realignment. Please note the realignment works will be subject to a Section 38 application by LCCC. The SPDT will be responsible for producing drawings for this application.
- 6) Public Realm areas

- a. Flaxmill Public Realm works
- b. Riverside (OCS) Public Realm works
- c. Reservoir Public realm works

Please refer to Appendix A for marked up plans and further details. Note the list above is for guidance only and is non-exhaustive.

The SPDT, in conjunction with the QS, shall identify and define the elements of work that are eligible for HIIF funding and those that are not eligible under Items 2–5 above. Items 1 & 6, are not eligible for HIIF funding and shall therefore be identified and packaged as a separate element of the Works.

At contractor procurement stage, it is envisaged that a single tender package will be prepared to encompass the full scope of the Works. However, the SPDT, in conjunction with the QS, shall clearly identify and distinguish between HIIF-eligible and non-eligible elements of the Works. This shall facilitate the inclusion or exclusion of specific work elements within separate tender packages for the Main Contractor, as may be required having regard to the funding strategy for the Project.

4.0 SCOPE OF PROCUREMENT

4.1 Overview

This procurement competition is for an Engineer led Single Point Design Team (SPDT) for the Phase II (a) – Site Activation Works. The procurement process is an open tender procedure.

4.2 Consultant Form of Contract

The Lead Applicant of the Engineer led SPDT will be appointed using a COE 1 (Standard Conditions of Engagement for Consultancy Services).

All sub-consultants to the Lead Applicant will be required to execute a Collateral Warranty in the form MF 2.3.

Applicants are required to retain specialist consultant services for the following positions:

- Civil Engineer - SPDT lead
- Structural Engineer
- Geotechnical Engineer (speciality in contaminated land)
- Electrical Engineer
- Landscape Architect

Please note the successful SPDT will work alongside the following consultants which will be appointed directly by LTT. (i.e. they will not form part of the SPDT services)

- Project Manager (Limerick Twenty Thirty)
- Quantity Surveyor
- PSDP
- Conservation Architect
- Ecologist
- Planning Consultant
- Employer's Representative

4.3 Contractor Procurement

The Construction Contract will be a PW-CF4 (Public Works Contract for Civil Engineering Works Designed by the Contractor) Contract.

The SPDT will be retained as Client Technical Advisors at the appointment of the Design & Build Contractor.

4.4 Scope of Service

Please refer to the separate Services Requirement Document, CRQ-SA-X-X-XXX-RP-LTT-PM-0002

The scope of services is to be delivered for the Project as defined below and as per the project milestones set out in Section.

4.5 Outline of Services Required

The Engineer Led SPDT will be appointed to produce a Design and Build pack for the Phase II(a) – Site Activation Works.

Planning permission for Phase II has not yet been granted. It was submitted to An Coimisiún Pleanála in November 2025. Further information was requested in March 2026. The further information response is currently being collated by the AIDT and is due to be submitted in mid-June. A decision on the application is expected Q3/Q4 2026. However, this date is indicative with no confirmed date committed from An Coimisiún Pleanála.

The purpose of this RFT is to procure an Engineer Led Single Point Design Team for the following:

- Stage i, Preliminary / Due Diligence
 - Complete a Due Diligence of the Phase II Stage 2A2 design, outline output & design standards and develop design & build tender strategy.
- Stage ii (b), Statutory Review*
 - Assess the outcome of the Planning Application in relation to the Site Activation Works
- Stage ii (c), Design & Build Specification and Prepare Tender Documents
 - To complete a Design & Build Pack and prepare tender documents (Detailed design developed post tender by Contractor). Support in procurement of the contractor.
- Stage iii, Tender Process
 - Support in assessing competence of the Design & Build contractor as designer, PSCS and PSDP.
- Stage iv, Construction
 - Retained as client technical advisor to oversee the contractor's detailed design and ensure contractors compliance with the performance specification and tender documents.
- Stage v, Handover
 - Assist in practical completion and handover process for the works. Participate in post project evaluation.

** Stage ii (b) may run concurrently with Stage ii (c) pending receipt of Planning outcome from An Coimisiún Pleanála. It may also commence prior to completion of Stage i.*

5.0 TENDER REQUIREMENTS

5.1 Objectives

Limerick Twenty Thirty invites your company to submit a tender proposal for Single Point Design Team Services for the Phase II (a) – Site Activation Works

This enquiry should not be construed in any manner to be an obligation to enter into an agreement or to result in any claim for reimbursement of costs for any effort expended by your organisation relative to this Request for Tender (RFT).

The RFT process allows Limerick Twenty Thirty to present prospective consultants the needs and plans of Limerick Twenty Thirty. The intent is to share information between Limerick Twenty Thirty and consultants to foster the development of mutual understanding and expectations about service standards.

Limerick Twenty Thirty does not seek any proprietary or company confidential information as part of your proposal. All information and data contained in your proposal should be submitted on an unrestricted basis.

Limerick Twenty Thirty intends to use the information provided in the responses to identify firms best suited to meet its service requirements.

Limerick Twenty Thirty is seeking a supplier that will offer a working relationship that provides the following in a structured and proactive way:

- Excellent customer service and relationship management
- Continual cost management and reduction
- Creative ways of improving productivity
- Tangible ability to maximise value for Limerick Twenty Thirty
- Innovation in service and products
- Proactive engagement and responsiveness
- Industry awareness

All proposals will be held in strictest confidence.

The following RFT documentation is provided as means of securing the most economical and advantageous tender for the provision of Single Point Design Team Services. This document is issued in strict confidentiality.

LTT has taken all reasonable care to ensure that the material set out for this tender process is true and accurate in all material respects as at the time of publication. However, no warranty or representation is given as to the accuracy or completeness of this material. LTT does not accept any liability or responsibility for the accuracy, adequacy or completeness of the information set out herein.

LTT will not be liable or responsible for any opinion, statement, or conclusion contained in, or any omission from, this information for candidates or for any other written or oral communication made available during the course of the tender process. No representation or

warranty is made in respect of such statements, opinions or conclusions.

5.2 Suitability Assessment Questionnaire

For the Engineer Led SPDT, a single questionnaire is required to be submitted by the Principal Service Provider with any additional services provided as specialist skills to the Principal Service Provider. Please note the specialist skills may be delivered by a multi-disciplinary practice or by sub-consultants to the contracting party

The principal service provider is the SPDT lead – Civil Engineer. The following SAQ documentation will be required to be completed:

- i) SAQ (Open Procedure) Part 1 – Information for Tenderers, Project Particulars and Suitability Assessment Questionnaire
- ii) SAQ (Open Procedure) Part 2 – Applicant Details and Declaration
- iii) ESPD
- iv) Appendix B1 – List of Previous Projects
- v) Appendix B3 – Certificate of Satisfactory Delivery of Services

5.2.1 SAQ Summary – Pass/Fail Thresholds

No.	Requirement / Criterion	Response	Fail
3.2	Professional or Trade Register	Declaration Required	No declaration provided
3.3	Financial & Economic Standing		
3.3a	Annual Turnover (Service)	Declaration Required	No declaration provided, not meeting minimum turnover standards
3.3b	Balance Sheets	Declaration Required	No declaration provided
3.3c	Bankers Letter	Declaration Required	No declaration provided
3.3d	Other Financial	Declaration Required	No declaration provided
3.3e	Prof. Indemnity	Declaration Required	No declaration provided, not meeting minimum insurance levels
3.3f	Public Liability	Declaration Required	No declaration provided, not meeting minimum insurance levels
3.3g	Employer's Liability	Declaration Required	No declaration provided, not meeting minimum insurance levels
3.4	Technical Capability		
3.4c	Services over the Past 7 years	Evidence Required	Not meeting minimum standards as outlined in SAQ
3.4d	Measures for ensuring Quality	Evidence Required	Not meeting minimum standards as outlined in SAQ

Please note the Technical Capability of Managerial and Personnel will be qualitatively assessed as part of the ITT Quality Submission.

5.3 Tender Queries

Tenderers will note that the ITT, at Section 2.3, sets out the rules for communicating with the Employer, including raising queries in relation to any aspect of the tender documents.

All queries in relation to any aspect of the Application documents should be submitted via the eTender query process, clearly marked with the subject line 'QUERY – Provision of Engineer led SPDT. The following additional conditions govern the submission of queries;

- i) No approach of any kind should be made to any other person within, or associated with, the Employer in connection with Procurement Procedure. Any such approach may, at the absolute discretion of the Employer, result in the elimination of the Applicant in question from this process.
- ii) The Employer will endeavour to respond to all reasonable queries received but do not undertake to respond to all queries indiscriminately.

Applicants should note that responses to queries, and other communications from the Employer, will be issued via the messaging facility available on www.etenders.gov.ie. They will therefore be issued only to those Applicants that have registered an interest in the competition on www.etenders.gov.ie. It is accordingly very important that Applicants register their interest in the competition so as to ensure that they receive communications from the Employer. The Employer has no responsibility for communications which are not received by any Applicant (whether registered for the competition or not).

LTT will endeavour to respond to all reasonable queries received on or before this date but does not undertake to respond to all queries received. The query and LTT's response will, where appropriate, be communicated to all candidates, without disclosing the name of the candidate who initiated the query.

If a candidate becomes aware of any ambiguity, discrepancy, error or omission in or between the tender documents, it must immediately notify LTT even after the deadline for queries has passed.

5.4 Submission of Proposals

All submissions must be via the e-tenders post box facility.

The Tender stage documentation should be collated into three separate zip files or two separate pdf documents, as follows:

- Suitability Assessment Questionnaire
 - QC2 Part 1 – SAQ Open Procedure
 - QC2 Part 2 – Applicant Details and Declaration
 - Completed ESPD
 - Appendix B1 – List of Previous Projects
 - Appendix B3 – Certificate of Satisfactory Delivery of services
- Price Submission:
 - Form of Tender & Schedule

- Completed Fee resource schedule document (in native .xlsx format also).
- Quality Submission;
 - Tenderers Proposals as set out within the Particulars of the ITT.

Tenderers must familiarise themselves with the e-tender post box facility, including the upload process, the timeframe to complete the up-load and file size restrictions to ensure information is submitted by the defined deadline.

The MEAT criteria for selection are detailed in the Instructions to Tenderers. Please ensure responses to all criteria are returned as per the requirements detailed.

5.5 Tender Clarifications Meetings

LTT reserves the right to request candidates to attend clarification meetings and a provisional date will be communicated in due course. If this proves necessary, Candidates will be informed as soon as possible after the deadline for receipt of tenders. For the avoidance of doubt meetings at that stage are for clarification only.

5.6 Canvassing

Tenderers shall not canvass any member or employee of LTT. Failure to comply with this requirement will result in disqualification from this process.

5.7 Confidentiality

The distribution of this PIM is for the sole purpose of pre-qualifying candidates for tendering for the aforementioned services. The distribution of this document does not grant permission or licence to use the documents for any other purpose. Applicants are required to treat the details of all documentation provided in connection with this competition as private and confidential. Similarly, the Contracting Authority undertakes to use all reasonable endeavours to ensure that any confidential information received from Applicants is not disclosed to third parties, subject always to its obligations under law and the applicable provisions of the Freedom of Information Act, 2014.

In this regard, Applicants are asked to consider if any of the information supplied by them in response to this Contract Notice should not be disclosed because of its sensitivity. Applicants must specify the precise information that is sensitive and the reasons for its sensitivity. Applicants are advised that it is not sufficient to merely include a statement of confidentiality encompassing all information contained in a submission. The Contracting Authority cannot guarantee that any information provided by Applicants, either in response to this Contract Notice or in the course of any this agreement awarded as a result thereof, will not be released pursuant to the Contracting Authority's obligations under law, including the Freedom of Information Act, 2014, European Procurement Directives and all Irish procurement legislation and guidance. The Contracting Authority accepts no liability whatsoever in respect of any information provided that is subsequently released or in respect of any consequential damage suffered as a result of such obligations.

5.8 Conflict of Interest

Any conflict of interest or potential conflict of interest must be fully disclosed to LTT as soon as the conflict or potential conflict becomes apparent. In the event of any such conflict or potential conflict LTT may at its absolute discretion decide on the appropriate course of the tender.

5.9 Applications from Joint Venture/Consortium

In accordance with the CWMF, and to facilitate participation by the SME sector in public procurement, applications will be accepted from groups of economic operators who combine their resources in order to satisfy the minimum requirements of the SAQ.

Applications by a Joint Venture/Consortium must be made by the Engineer as Lead Applicant of the JV/Consortium. The Engineer Lead Applicant must provide details of the various members of the group and clearly distinguish between sub consultants and members of the JV/Consortium.

The legal form a JV/Consortium assumes prior to appointment will be a matter for the applicants. Regardless of what legal form the JV/Consortium assumes, the Architect Lead Applicant will be held responsible by the Employer for the effective delivery of the professional services and will be the single point of responsibility for any failure to discharge the scope of services by any of the members of the JV/Consortium or its sub-contractors.

6.0 PROGRAMME

The appointed team will be required to work with LTT and the appointed PM / QS to refine this programme and develop a design and implementation schedule aligned with the LTT requirements.

Key Milestone	
Milestone	Anticipated Due Date / Time
Appointment of SPDT	18 th Sept 2026
Commencement of Stage i	21 st Sept 2026
Completion of Due Diligence review	23 rd Oct 2026
Stage i Report	13 th Nov 2026
Review 2 Approval	30 th Dec 2026
Commencement of Stage ii (c)	1 st Dec 2026
Draft Design & Build Tender Pack	26 th Feb 2027
Final Design & Build Tender Pack	22 nd Mar 2027
Review 6 Approval	16 th April 2027
Stage ii (c) - Gate 2 Pre-Tender Approval	17 th May 2027
ITT Issued to D&B contractor shortlist	May 2027
Gate 3 – Approval to Proceed	Oct 2027
Appointment of D&B Contractor	Nov 2027
Commencement of Stage iv – Construction	Dec 2027
Practical Completion	Dec 2028
<i>Note:</i> <i>All dates are indicative and are subject to change as project progresses, Approval periods from Sanctioning Authority as per the Infrastructure Guidelines and decision on Phase II Planning submission</i> <i>Stage ii(b) may proceed concurrently with Stage ii(c). In the absence of a decision, Stage ii(c) will commence uninterrupted.</i>	

Key Timelines	
Package Allocations	Anticipated Duration
Stage I – Due Diligence by Design Team	4 weeks
Review 2 Approval	2 weeks
Stage ii (b) – Review Planning conditions	1 week
Stage ii (c) - Develop draft D&B Tender Pack	9 weeks
Gate 2 – Pre Tender Approval Process	4 weeks
Stage iii – Contractor Tender Period	5 weeks
Gate 3 Approval to Proceed Process	10 weeks
Stage iv – Mobilisation	4 weeks
Stage iv – Construction works	48 weeks
<i>Note:</i> <i>All dates are indicative and are subject to change as project progresses.</i>	

7.0 ITT QUALITY SUBMISSION

7.1 Overview

Tenders will be evaluated against the quality criteria set out below and in the ITT. Any tendered will be excluded from further consideration for the following:

- i) Not passing on a PASS / FAIL Criterion
- ii) Achieving less than 40% of the maximum marks of an individual 'Quality' Criterion
- iii) Achieving less than 50% of the total quality marks.

The Quality Proposal should describe your approach to providing effective and efficient services within the scope of this particular project ("the Project") and should address each of the following criteria as set out in the ITT document.

It is important that the Quality Proposal is specific to the Project. Marks will not be gained for generic or irrelevant material, regardless of its calibre or connected accolades. The Quality Proposal submitted by the successful tenderer will form part of the Contract, save to the extent that it is inconsistent with any other part of the Contract. The Contracting Authority reserves the right at its sole discretion to include any or all of the successful tenderer's Quality Proposal in respect of the Project in the Contract.

7.2 Tender Evaluation Matrix

The Quality Assessment Criteria within the Instruction to Tender will be scored 0-100% for each of the Technical Merit criteria based on the detail provided and relative to other Tenders submitted. The scoring methodology for evaluating the Technical Merit criteria is detailed below:

Evaluation	Rating (%)	Interpretation
Excellent	91–100	An excellent response with very few or no weaknesses. Fully meets or exceeds requirements and provides comprehensive, detailed and convincing assurances that the Tenderer will deliver on the Contracting Authority's requirements to an excellent standard.
Very Good	81-90	Exceeds the minimum standard overall. Evidence is very clearly demonstrated. Applicant demonstrates a real understanding of the requirements and clearly demonstrates assurance that the Tenderer will deliver on the Contracting Authority's requirements that will exceed the minimum standard.
Good	71-80	Mostly exceeds the minimum standard overall. Evidence is clearly demonstrated. Applicant demonstrates a good understanding of the requirements and demonstrates assurance that the Tenderer will deliver on the Contracting Authority's requirements that will mostly exceed the minimum standard.
Satisfactory	61-70	Somewhat exceeds the minimum standard although significant parts considered minimum standard only. Evidence is demonstrated to a satisfactory level. However, it does not provide the Contracting Authority convincing assurance to award a higher mark.
Acceptable	50-60	Generally minimum standard and may exceed minimum standard in parts. Evidence is demonstrated to minimum standards only. However, there are reservations that the delivery of the Contracting Authorities requirement is at risk of not being delivered
Poor	0-49	Submission is below the expected standard. A response where serious reservations exist or no information is provided. This may be due to insufficient detail provided, the response has fundamental flaws, is seriously inadequate and/or seriously lacks credibility with a high risk of non-delivery of the Contracting Authority's requirements.

8.0 ANTICIPATED SCHEDULE FOR SELECTION

The timetable below contains key tasks and dates that you will be responsible for to successfully respond to this RFT package. Please take note of all dates and times.

RFT Steps	Due Date / Time
RFT Issued	12 th June 2026
Latest Date for Queries to LTT regarding the RFT	See ITT
RFT Responses to Queries	See ITT
RFT Responses Deadline	24 th July 2026
LTT Evaluation Team proposal assessment	July - August 2026
Award Decision / Authorisation to Proceed	September 2026
Project Kick Off	September 2026

Table 2: Anticipated Timeline for Selection

Please note these dates provided are envisaged timelines and may be subject to change. Limerick Twenty Thirty will endeavour to adhere as closely to these timelines as possible.

There will be an opportunity for one site visit and briefing. Please note there are no restrictions to visiting site within public areas at any time. A site visit & briefing for tenderers will be arranged for:

Project Briefing & Site Visit: Tuesday 30th June 2026

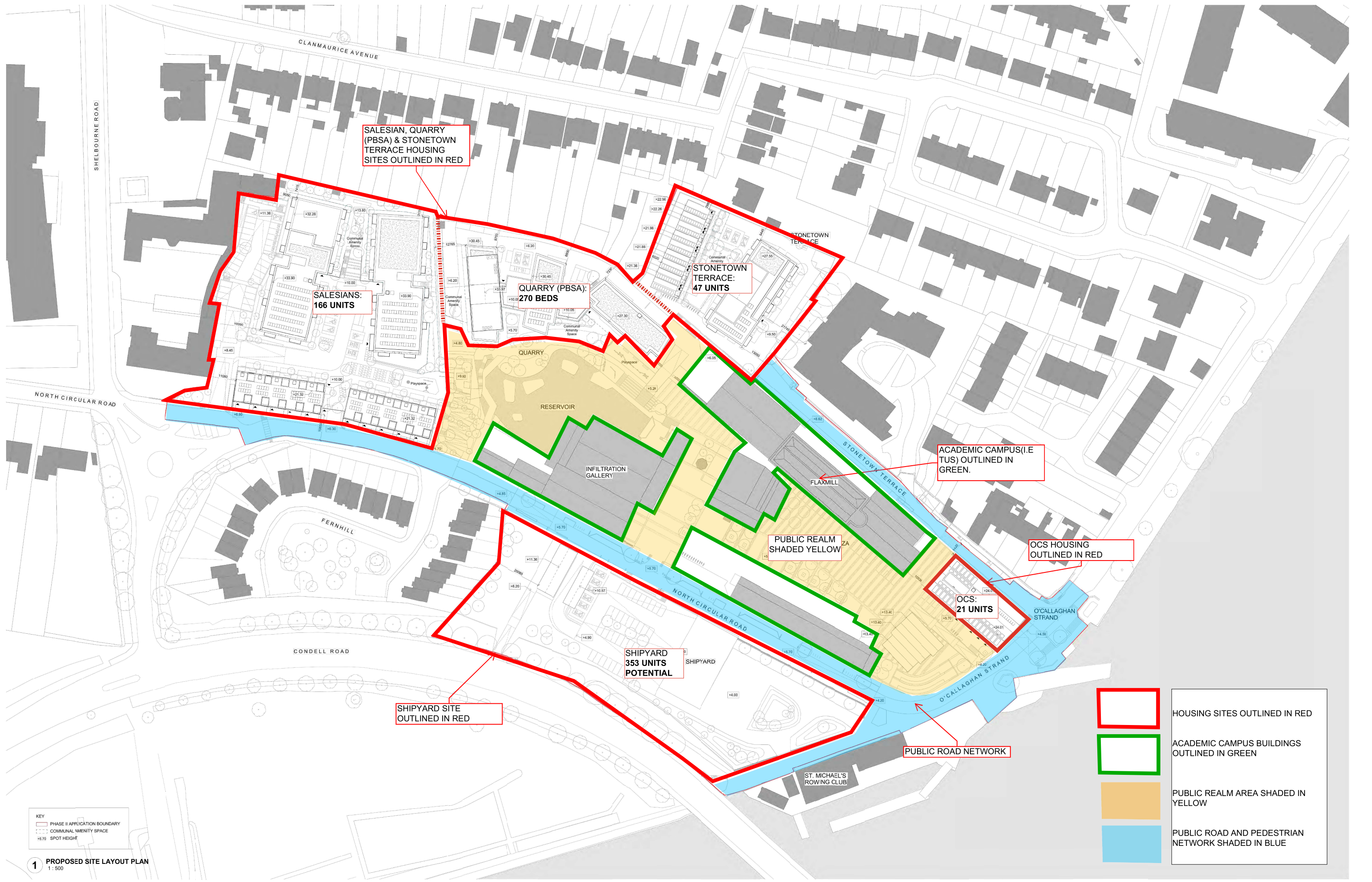
Project Briefing: 10.30am, LTT Office

Site Visit/Walk: 11.15am, CRQ Site

Please email sean.quinn@limerick2030.ie to confirm attendance. Meeting point will be at LTT's office: <https://maps.app.goo.gl/fnPimhEiPm9SmmDW7>

Site Location: <https://maps.app.goo.gl/tpbE7cTS5zux3iPj6>

APPENDIX A

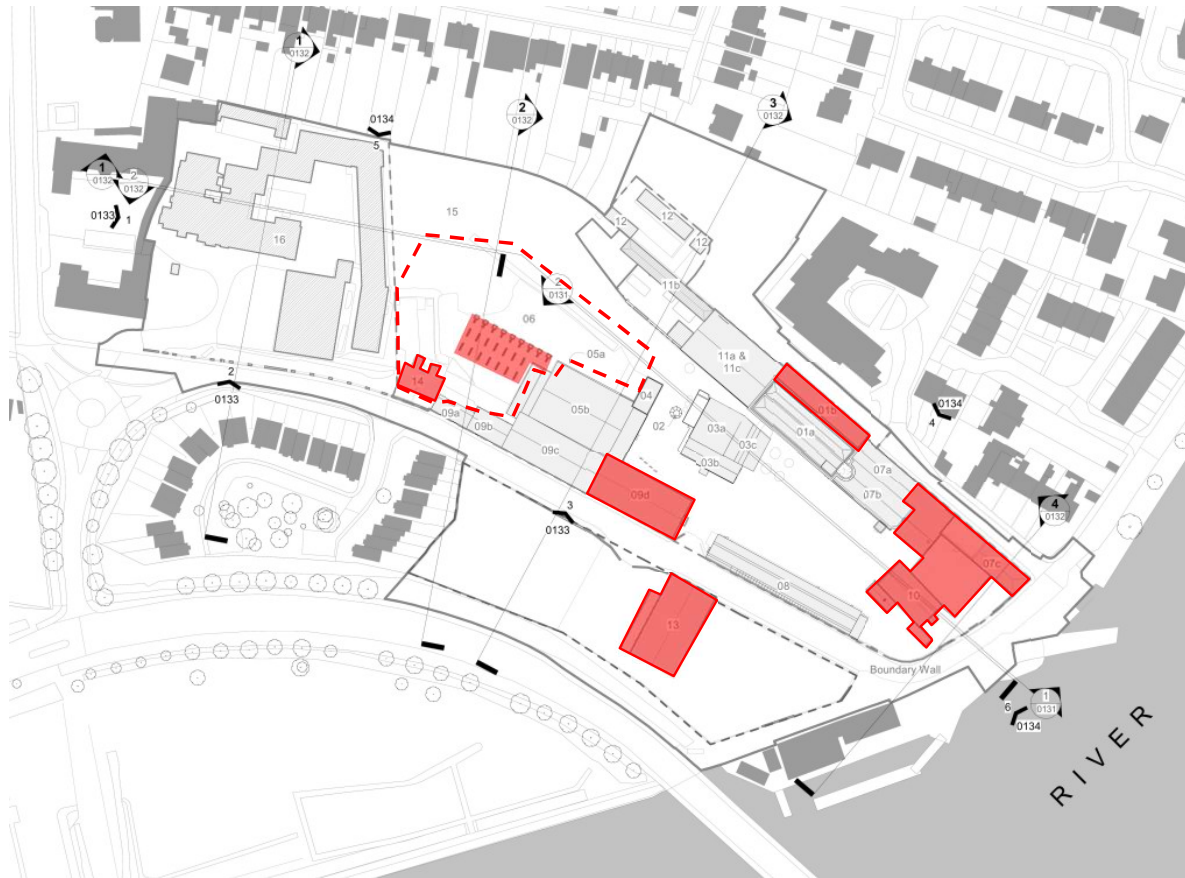


KEY
PHASE II APPLICATION BOUNDARY
COMMUNAL AMENITY SPACE
SPOT HEIGHT

1 PROPOSED SITE LAYOUT PLAN
1:500

- HOUSING SITES OUTLINED IN RED
- ACADEMIC CAMPUS BUILDINGS OUTLINED IN GREEN
- PUBLIC REALM AREA SHADED IN YELLOW
- PUBLIC ROAD AND PEDESTRIAN NETWORK SHADED IN BLUE

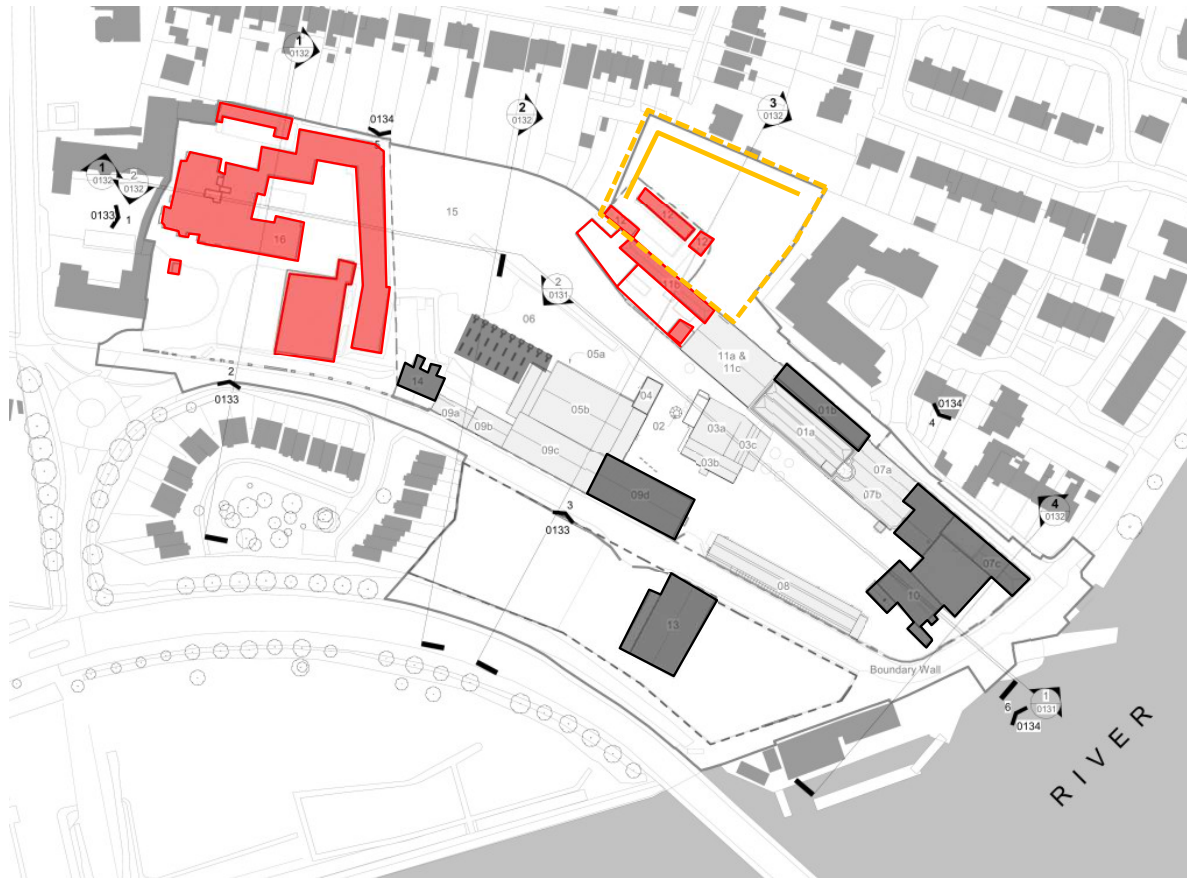
DEMOLITION & SITE CLEARANCE



PACK A : Demolitions & Site Clearance works that are required to pave way for installation of infrastructure to expedite housing zones as per HIIF app

- Demolition of 07c – Linen Store
- Demolition of 10 – Office & Lab Building
- Demolition of 01b – Main Mill rear extension
- Demolition of 09d – Cheese Plant Offices
- Demolition of 14 – Victorian Houses
- Demolition of 13 – Warehouse
- Miscellaneous boundary wall demolition works, including removal of infill section of wall
- Reservoir enabling works:
 - Dewatering of reservoir & dredging out material.
 - Geoenvironmental testing of dredged material for disposal off site
 - Removal of vegetation including invasive species off site.
 - Demolition of 06 – Residual piers in reservoir basin
 - All preparation works to reservoir basin and side walls

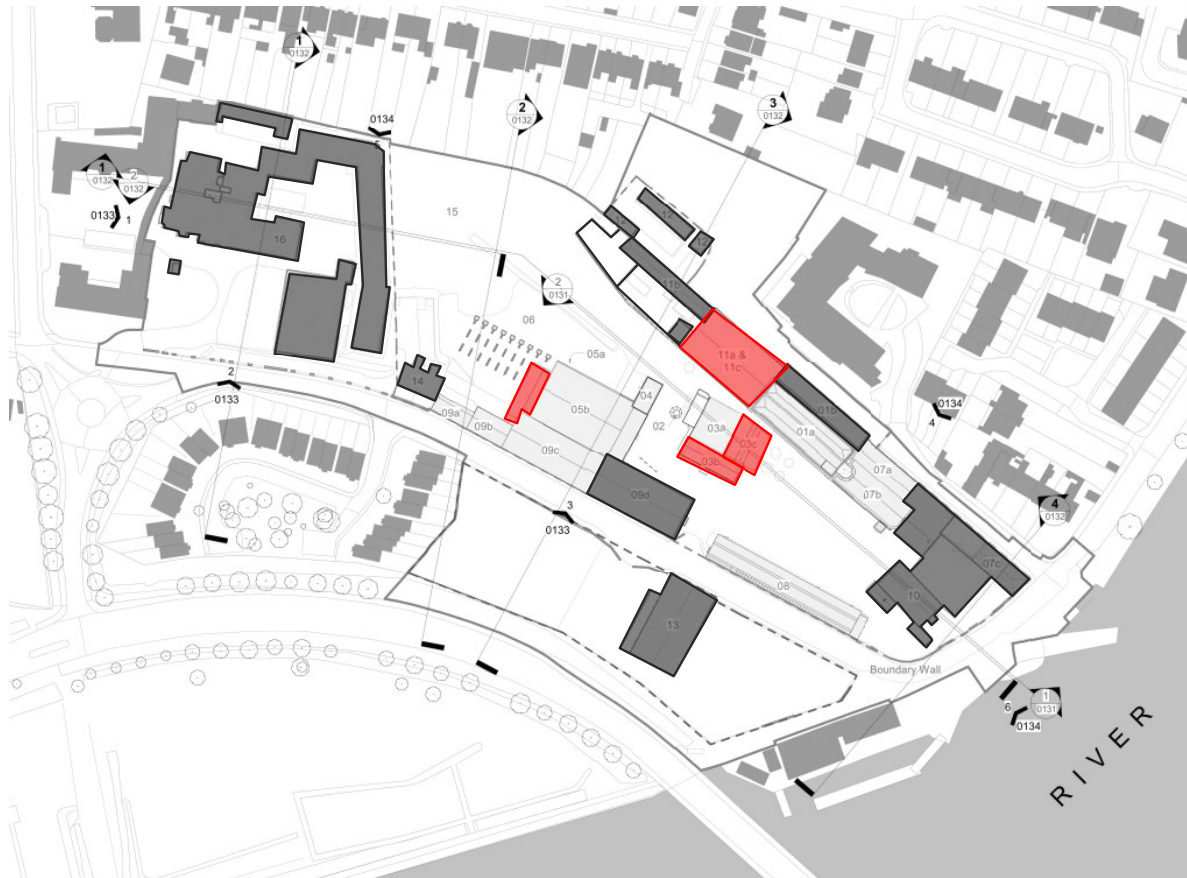
DEMOLITION & SITE CLEARANCE



PACK B : Demolitions & Site Clearance that will expedite housing zones however are not included in HIIF application

- Demolition of 16 – Salesians School, Gymnasium & ancillary structures and boundary walls
- Demolition of 12 – Upper Reservoir
- Demolition of 11b – Weaving Mill lean-to
- Reduced dig in Stonetown Terrace. Made ground which contains asbestos to be disposed to Non-Haz licensed landfill (with asbestos).
- Retaining Wall – Stonetown terrace

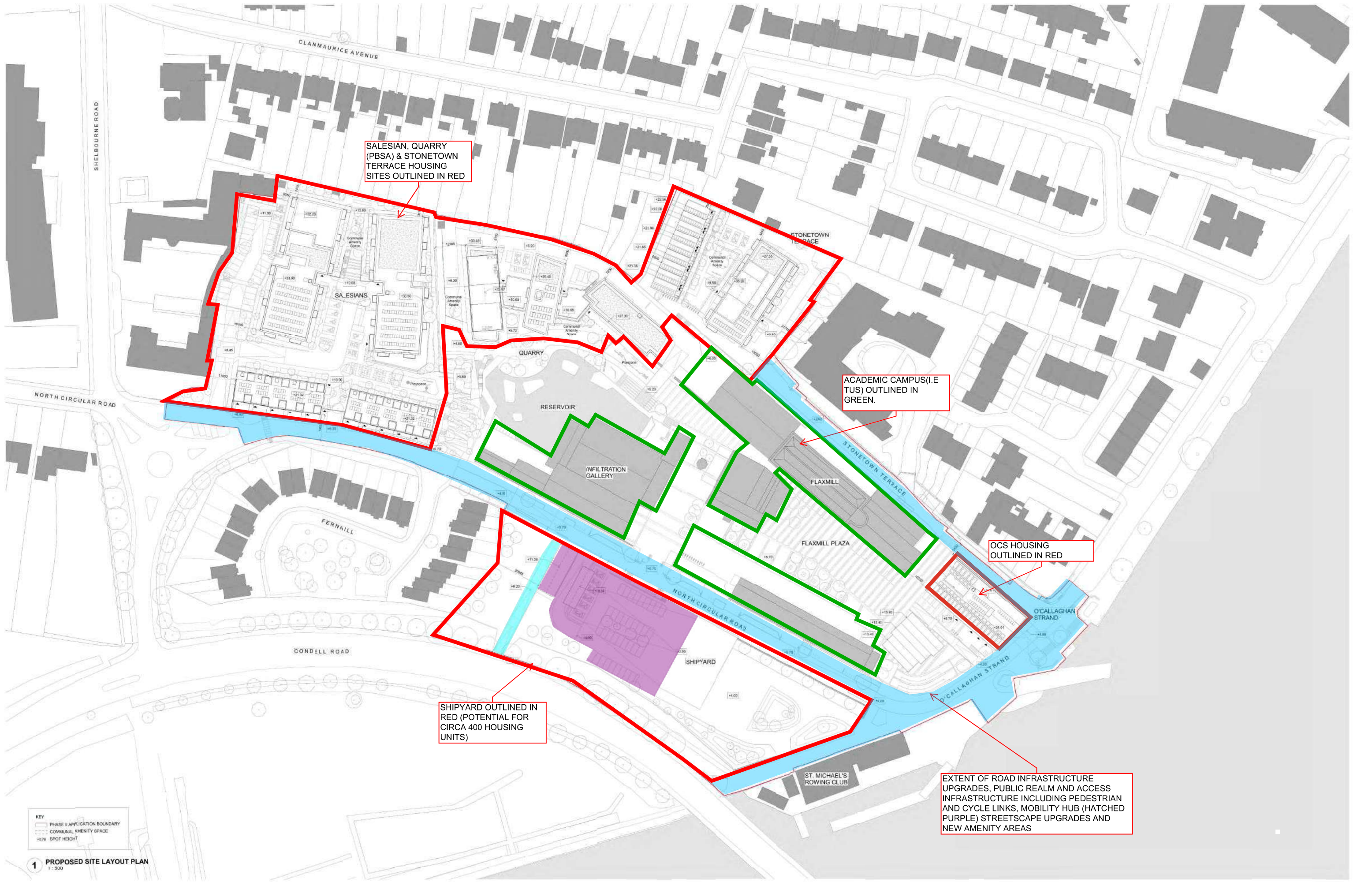
DEMOLITION & SITE CLEARANCE



PACK C

Description : Demolitions that are not currently included in the Phase II Planning Application. All inclusions TBC

- Demolition of 3b – Engine House Gable Extension
- Demolition of 3c – Engine House Side Extension
- Demolition of 5b*– Infiltration Gallery Lean to & Piers
- Demolition of 11c – Weaving Mill / Cold Store 1st Floor & Truss roof



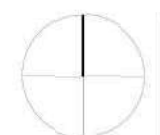
KEY
— PHASE II APPLICATION BOUNDARY
--- COMMUNAL AMENITY SPACE
+5.70 SPOT HEIGHT

1 PROPOSED SITE LAYOUT PLAN
1:500

NOTES:
Dimensions are not to be scaled from this drawing.
Drawing only to be used for the purposes it was issued for.
Landscape, public realm and neighbouring buildings shown for context.
Existing building plans and elevations are based on survey information (average ground level 11.10m AOD).
GEODATA Measured Surface (MSS) (1:1000)

0 10 20
m
Scale 1:500

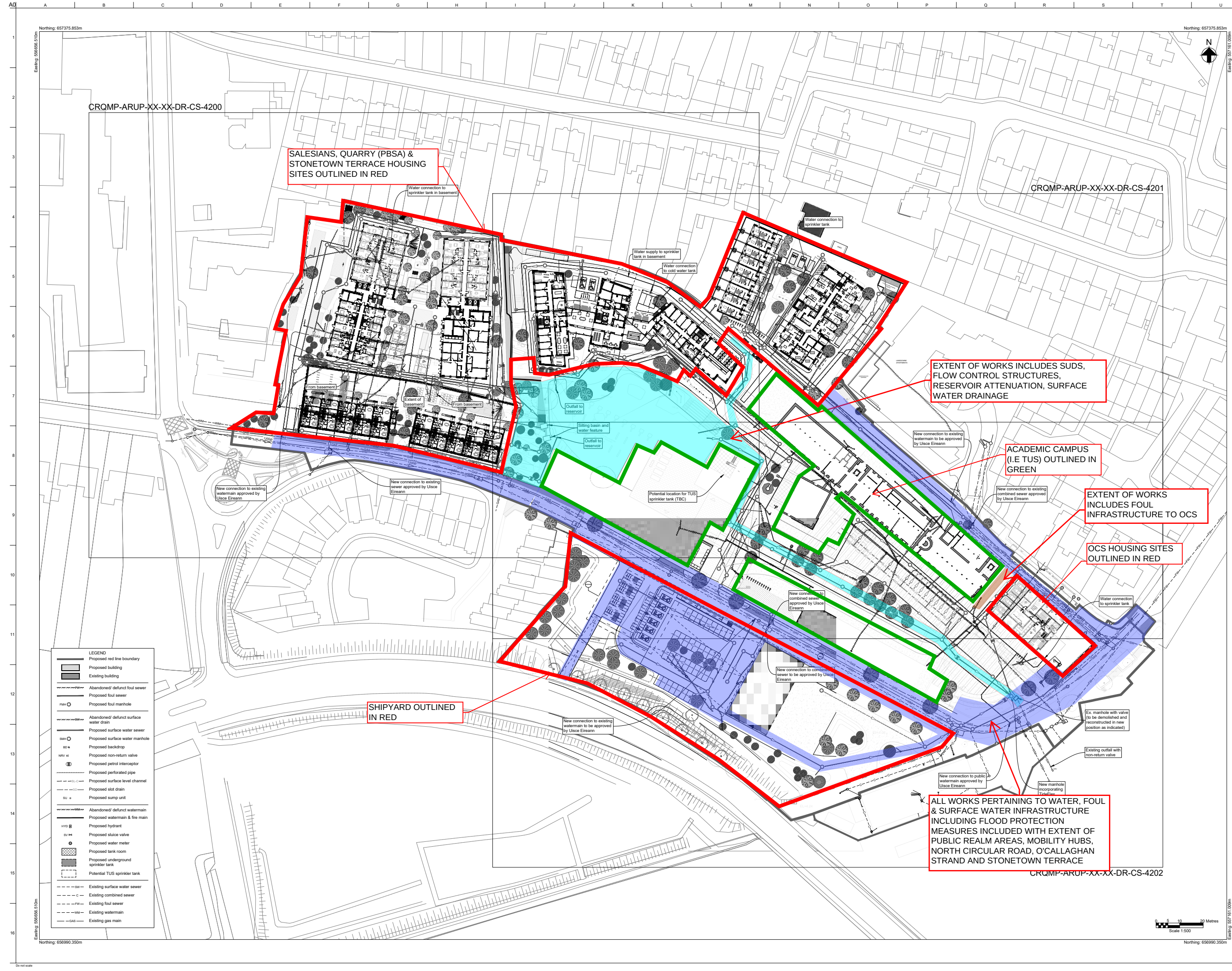
FeildenCleggBradleyStudios
burcholzmeevayARCHITECTS
Mitchell + Associates



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e fcb@fcstudios.com

Rev	Status
PD1	Planning Issue

Date	Job/Drawing No	Revision
06.10.25	CRQMP-FCBS-ZZ-02-DR-AA-0115	P01
Creaves Linerick Proposed Site Layout Plan		
Scale: As indicated @ A0	Drawn: London	FCBS project no 2027
Date: 10/07/2025	Checked: GW	Do not scale
All dimensions to be checked on site		



Notes:

1. SuDS - Use blue/ green roofs to attenuate surface water flows.
2. Use permeable paving/ porous surfacing to car parking spaces/ pavements.
3. Possibly use green areas as attenuation basins, tree pits etc.

C01	03/10/25	NK	AS	GS
Issued for Planning (Status A2)				
P03	05/09/25	NK	AS	GS
Issued for Information (Status S2)				
P02	22/08/25	WC	AS	GS
Issued for Information (Status S2)				
P01	25/04/25	NK	AS	GS
Issued for Information (Status S2)				
Rev	Date	By	Chd	Appd

ARUP

Arup, 50 Ringwood Road
Dublin, D04 T6X0
www.arup.ie
Tel +353(0)1 233 4405 Fax +353(0)1 668 3160

Client
Limerick Twenty Thirty

Project Title
Cleaves Riverside Quarter Masterplan

Drawing Title
Proposed Drainage & Watermain Overall Layout

Scale of A2
1:500

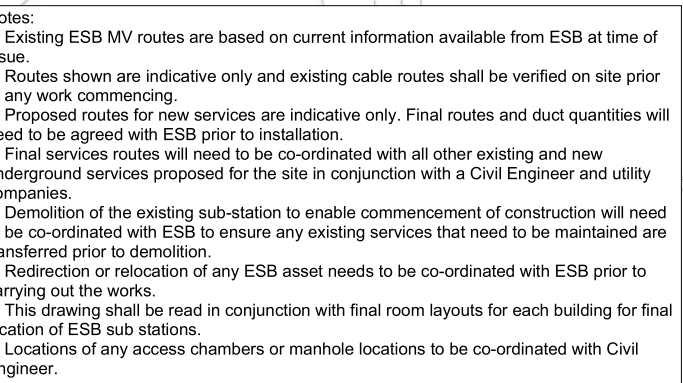
Role
Civil Drainage

Sustainability
A2 - Issued for Planning

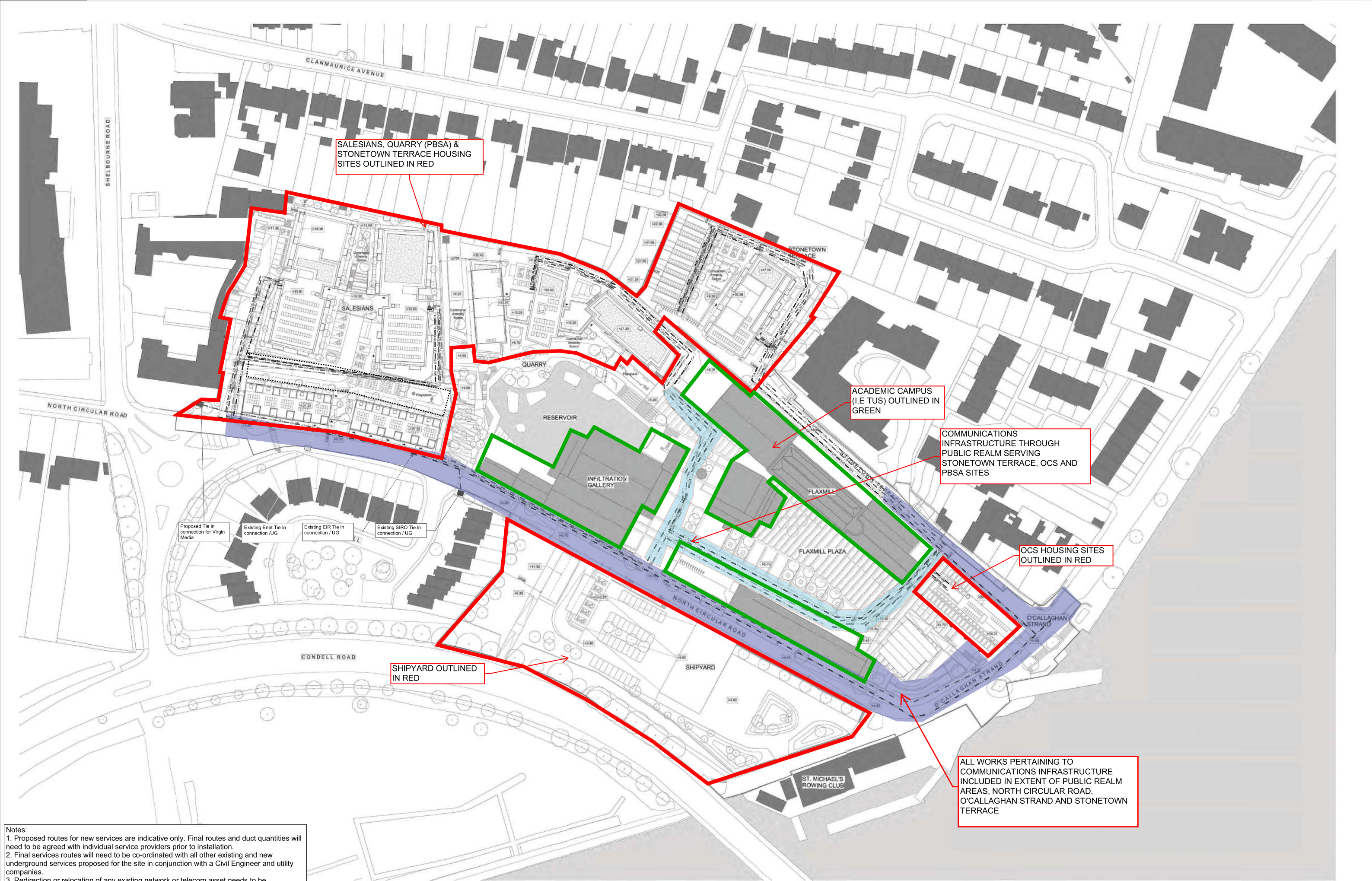
Arup Job No
277975-00

Rev
C01

CRQMP-ARUP-XX-00-DR-CE-2100



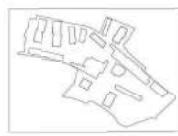
ALL WORKS PERTAINING TO ELECTRICITY
INFRASTRUCTURE INCLUDED IN EXTENT
OF PUBLIC REALM AREAS, MOBILITY HUBS,
NORTH CIRCULAR ROAD, O'CALLAGHAN
STRAND AND STONETOWN TERRACE



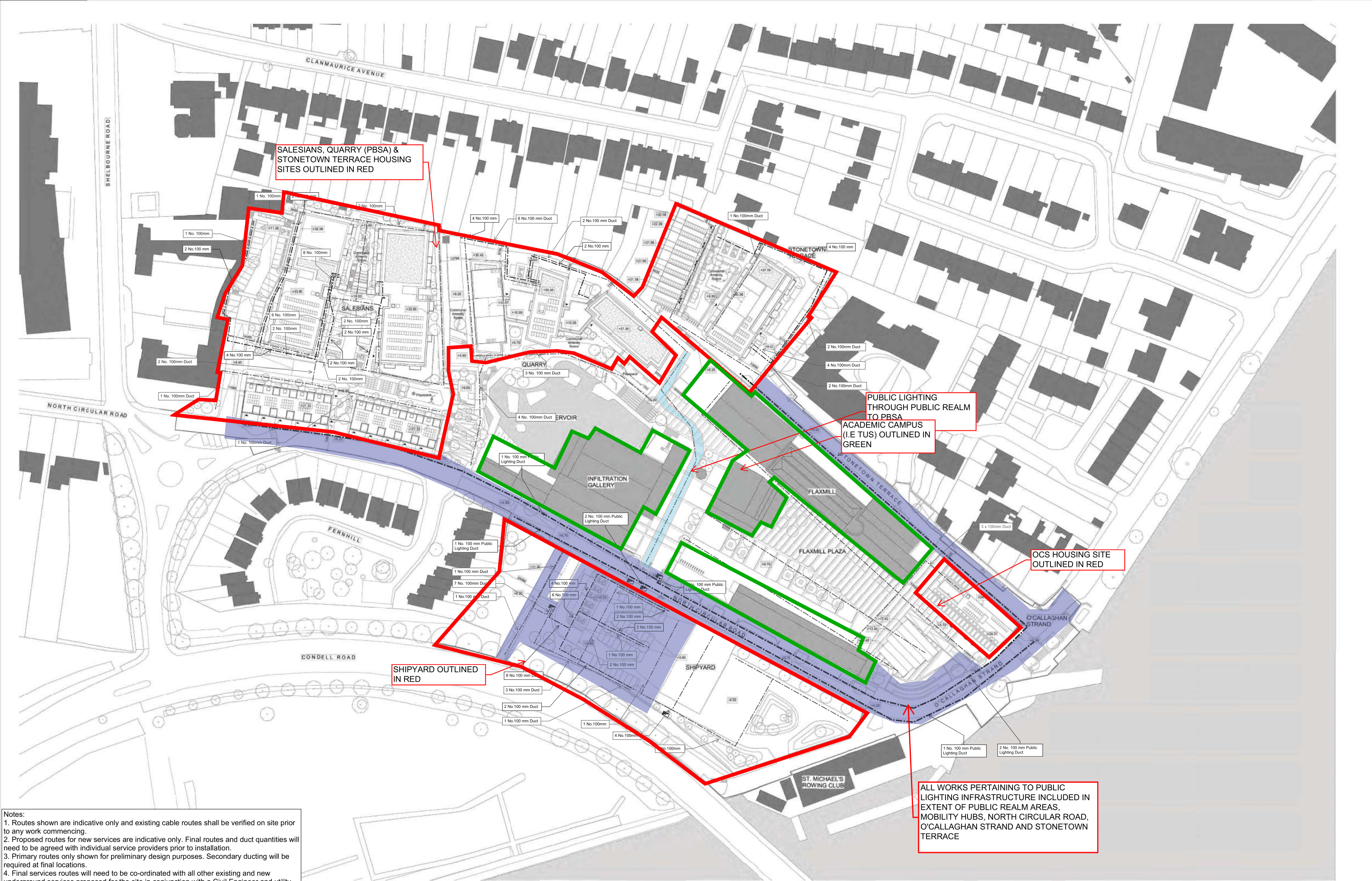
Notes:

1. Proposed routes for new services are indicative only. Final routes and duct quantities will need to be agreed with individual service providers prior to installation.
2. Final services routes will need to be co-ordinated with all other existing and new underground services proposed for the site in conjunction with a Civil Engineer and utility companies.
3. Redirection or relocation of any existing network or telecom asset needs to be co-ordinated with the individual provider prior to carrying out the works.
4. This drawing shall be read in conjunction with final room layouts for each building for final location of Telecom rooms in the separate buildings.
5. Locations of any access chambers or manhole locations to be co-ordinated with Civil Engineer.
6. Existing services routes have been identified on North Circular Road, O'Callaghan Strand and Stonetown terrace. Exact locations of existing services to be surveyed on site to allow co-ordination with new services.
7. Typical duct diameter for all networks is 125mm dia.

Legend			
	SIRO		ENET
	Eir		Virgin Media
	CRQ External ICT Services		



ARUP			
Job Title	Cleaves Riverside Quarter	Job No.	277975-00
Drawing Title	Telecommunication	Drawing No.	CRQMP-ARUP-ZZ
Service Routes			-00-DR-E-1102
Purpose of Issue	For Information	Scale	NTS
By	AM	Checked	VA
		Revision	03
		Date	09.01.2026



Notes:

1. Routes shown are indicative only and existing cable routes shall be verified on site prior to any work commencing.
2. Proposed routes for new services are indicative only. Final routes and duct quantities will need to be agreed with individual service providers prior to installation.
3. Primary routes only shown for preliminary design purposes. Secondary ducting will be required at final locations.
4. Final services routes will need to be co-ordinated with all other existing and new underground services proposed for the site in conjunction with a Civil Engineer and utility companies. Services will be co-ordinated with site boundaries and installed to suit the ground conditions.
5. Locations of any access chambers or manhole locations to be co-ordinated with Civil Engineer.
6. This drawing shall be read in conjunction with final architectural and landscape layouts for each building for final location of switchrooms and final details of landscape design.

Legend

- LV Duct
- Lighting Duct
- Public Lighting Duct

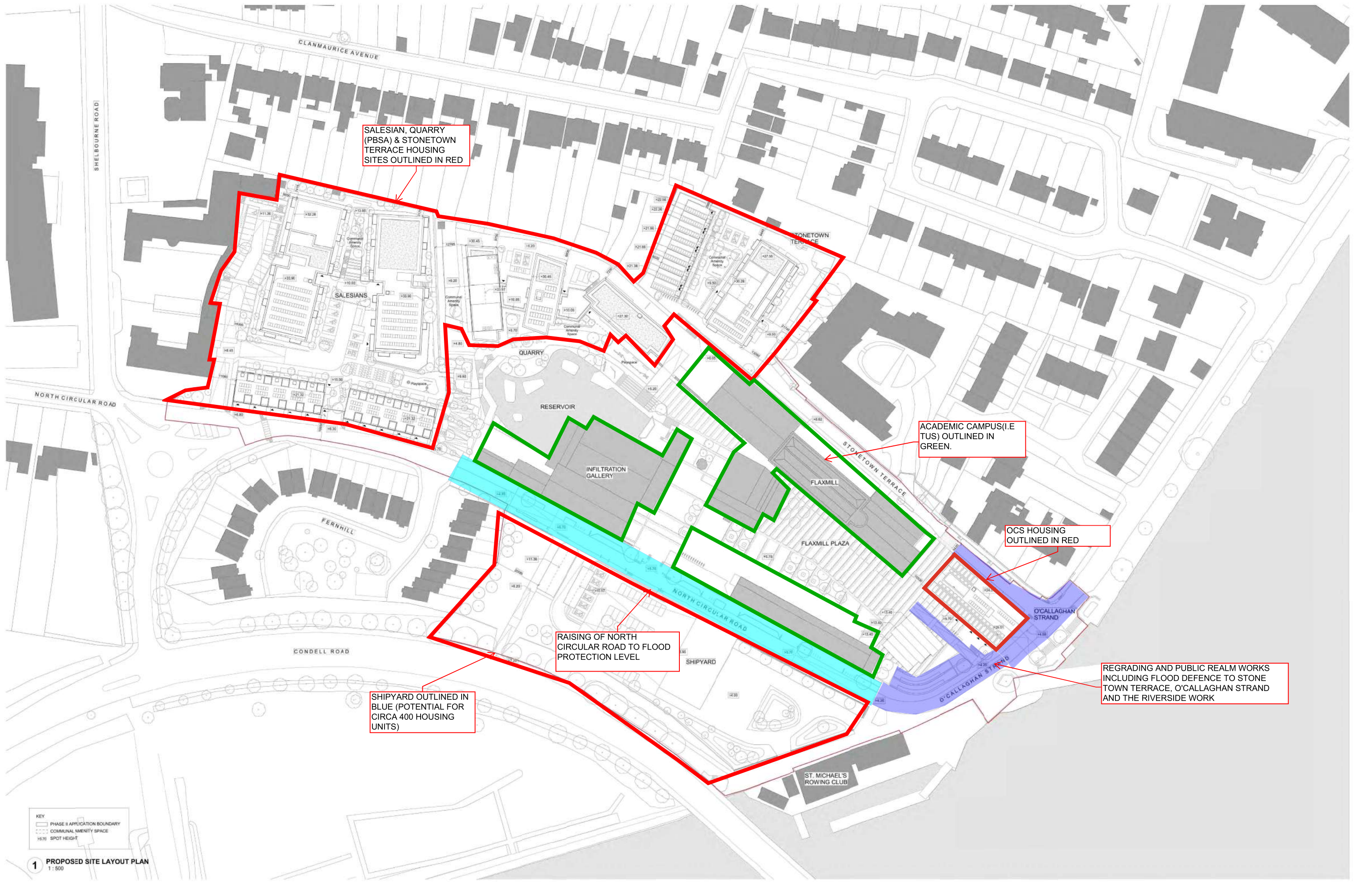
ARUP

Job Title: Cleaves Riverside Quarter Job No: 277975-00

Drawing Title: External LV Ducting Drawing No: CRQMP-ARUP-ZZ-00-DR-E-1103

Purpose of Issue: For Information Scale: NTS

By	Checked	Revision	Date
AM	VA	03	09.01.2026



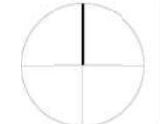
KEY
PHASE II APPLICATION BOUNDARY
COMMUNAL AMENITY SPACE
SPOT HEIGHT

1 PROPOSED SITE LAYOUT PLAN
1:500

NOTES:
Dimensions are not to be scaled from this drawing.
Drawing only to be used for the purposes it was
issued for.
Landscape, public realm and neighbouring buildings
shown for context.
Existing building plans and elevations are based on
survey information drawings received on 11.09.2025.
GEOGATV Measured Bathymetry Survey (Scales 1:10)



FeildenCleggBradleyStudios
bucholzmcveyARCHITECTS
Mitchell + Associates



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t +44 20 7323 6737
e london@fcstudios.com

Rev	Status
P01	Planning Issue

Date 06.10.25
Job/Drawing No CRQMP-FCBS-ZZ-02-DR-AA-0115 P01
Revision Status
Client/Owner Limerick
Proposed Site Layout Plan
Scale As indicated/BA0
Date 10/07/2025
Checked GW
FCBS project no 2027
Do not scale All dimensions to be checked on site